

PROPOSED DUPLEX

365 E 14TH STREET

NORTH VANCOUVER

Project Statistics:

Legal description: LOT 13, EXEPT THE SOUTH 10 FT OF LANE, BL 59, DL 550, PL 1363

Civic address: 365 E 14th Street , North Vancouver

Lot Size = 8816 sf
 Existing Zone = RS-1
 Proposed Zoning = To be rezoned to CD Based on Low Density attached Form Housing

FSR: Maximum FSR allowable = 0.5 = 8816 x 0.5 = 4408 sf
 Proposed FSR = 4311 sf

Parking calculation:
 Required 1.5 stalls per unit = 1.5 x 3 = 4.5 stalls
 6 Bikes = 1 car
 Proposed = 6 Bikes
 Proposed = 5 stalls

Building Separation:
 Building separation front unit to rear unit = 32.0 ft

Building height:
 Maximum building height allowable = 30'
 Proposed building height Unit A = Existing
 Proposed building height Unit B1 & B2 = 29.15

Setbacks:

South (Rear Yard)	Required 25 ft	Proposed 25.54 ft
West (Side Yard)	Required 5 ft	Proposed 5 ft
East (Side Yard)	Required 10 ft	Proposed 10 ft
North (Front Yard)	Required 25 ft	Proposed 25 ft

Unit Breakdown:	New Units	
Main Floor	Unit B1 & B2	1473
Upper Floor	Unit B1 & B2	<u>1391</u>
	Total Area	2864 sf

Sum = 4311sf



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NOTE:

HIGHEST FINISHED GRADE	=	369.80
LOWEST FINISHED GRADE	=	364.69
AVERAGE GRADE	=	367.25
CELLAR GRADE	=	355.50
IS CELLAR FLOOR MORE THAN 5.0' BELOW AG	YES AT 11.75'	

AVERAGE GRADE

BUILDING TO COMPLY WITH BCBC 2012
 SECTIONS 9.36 PRESCRIPTIVE & 9.32 HRV

REVISION TABLE		
NUMBER	DATE	DESCRIPTION
1	2/4/16	RMR ADF NOTES
2	12/8/16	RMR BP APP
3	25/8/16	RMR BP APP NOTES

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PROJECT STATISTICS & DATA

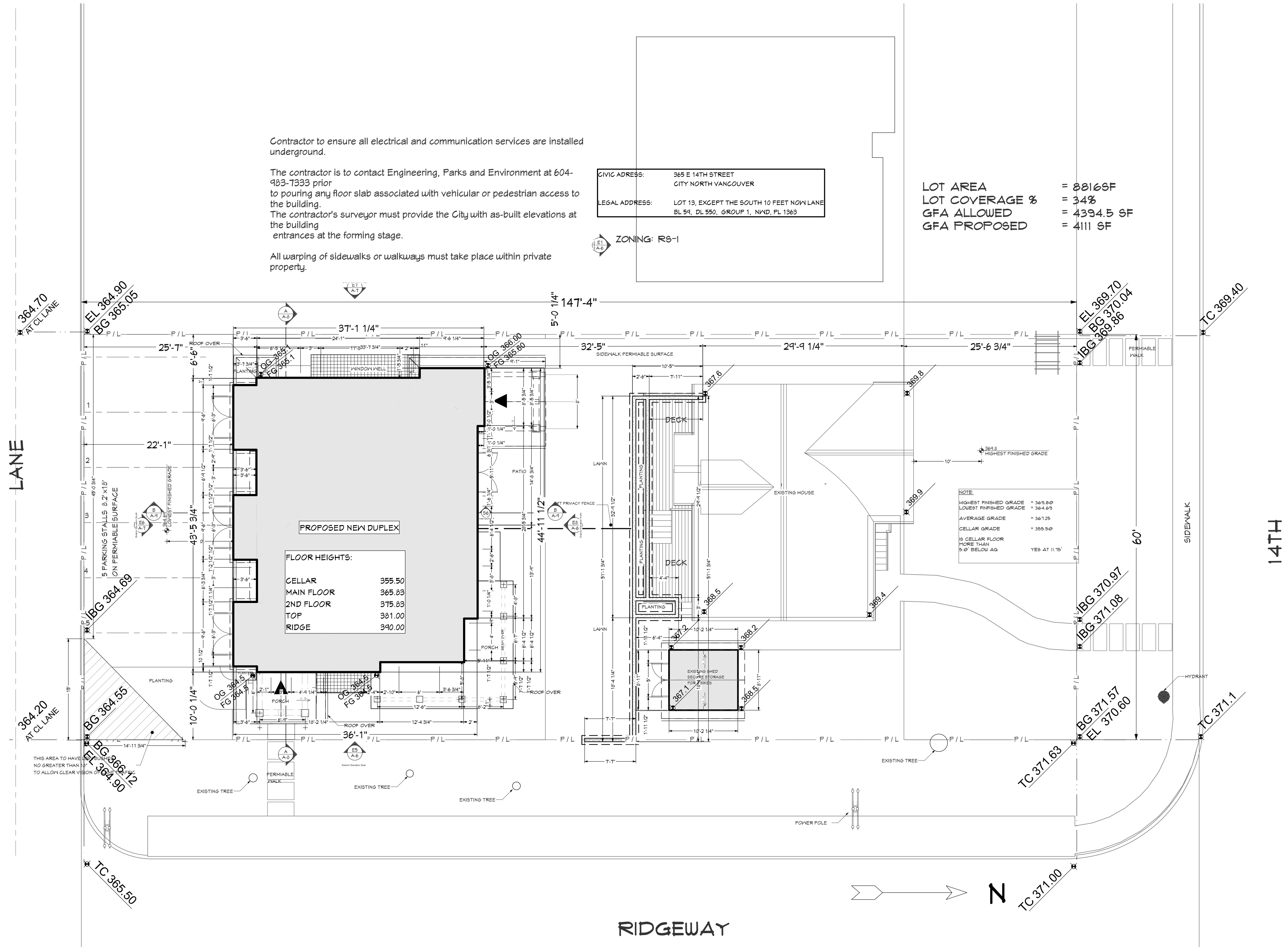
KCC architecture & design ltd.
 Karis Castellanos AIBC
 VANCOUVER
 604-909-1267

KARL WEIN ASSOCIATES
 WRAIC
 WEST VANCOUVER
 778-280-3672

DATE:
2016-12-13

SCALE:
DRAWN: RMR

SHEET:
AP-1



Contractor to ensure all electrical and communication services are installed underground.

The contractor is to contact Engineering, Parks and Environment at 604-983-1333 prior to pouring any floor slab associated with vehicular or pedestrian access to the building.

The contractor's surveyor must provide the City with as-built elevations at the building entrances at the forming stage.

All warping of sidewalks or walkways must take place within private property.

CIVIC ADDRESS: 365 E 14TH STREET
CITY NORTH VANCOUVER

LEGAL ADDRESS: LOT 13, EXCEPT THE SOUTH 10 FEET NOW LANE
BL 54, DL 550, GROUP 1, NXD, FL 1363

ZONING: R5-1

LOT AREA = 88169F
LOT COVERAGE % = 34%
GFA ALLOWED = 4394.5 SF
GFA PROPOSED = 4111 SF

FLOOR HEIGHTS:

CELLAR	355.50
MAIN FLOOR	365.83
2ND FLOOR	375.83
TOP	381.00
RIDGE	390.00

NOTE:

HIGHEST FINISHED GRADE	+ 369.80
LOWEST FINISHED GRADE	+ 364.65
AVERAGE GRADE	+ 361.25
CELLAR GRADE	+ 355.50
IS CELLAR FLOOR MORE THAN 5'-0" BELOW AG	YES AT 11'-15"

REVISION TABLE

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SITE PLAN

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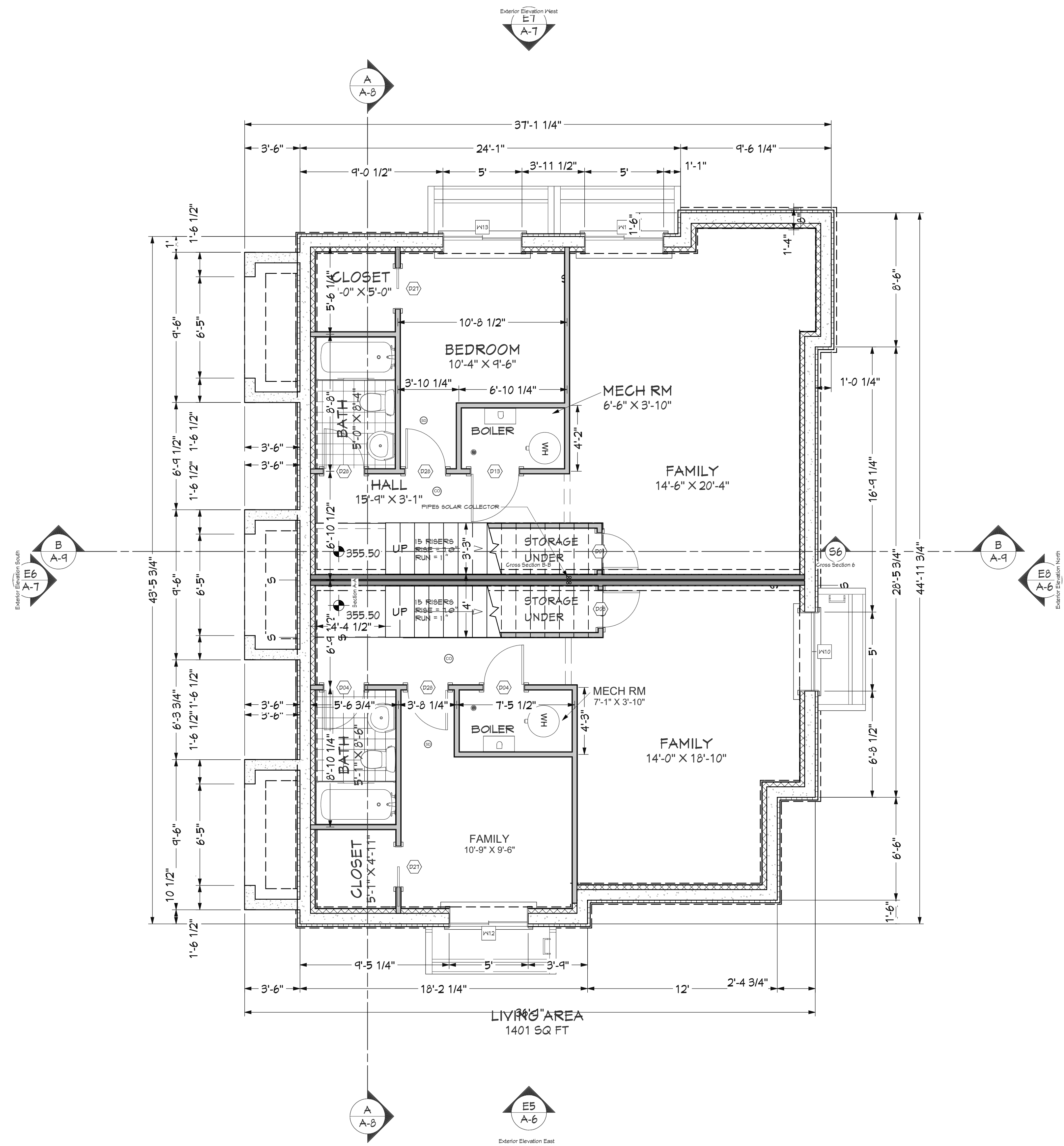
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CELLAR

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CELLAR FLOOR PLAN

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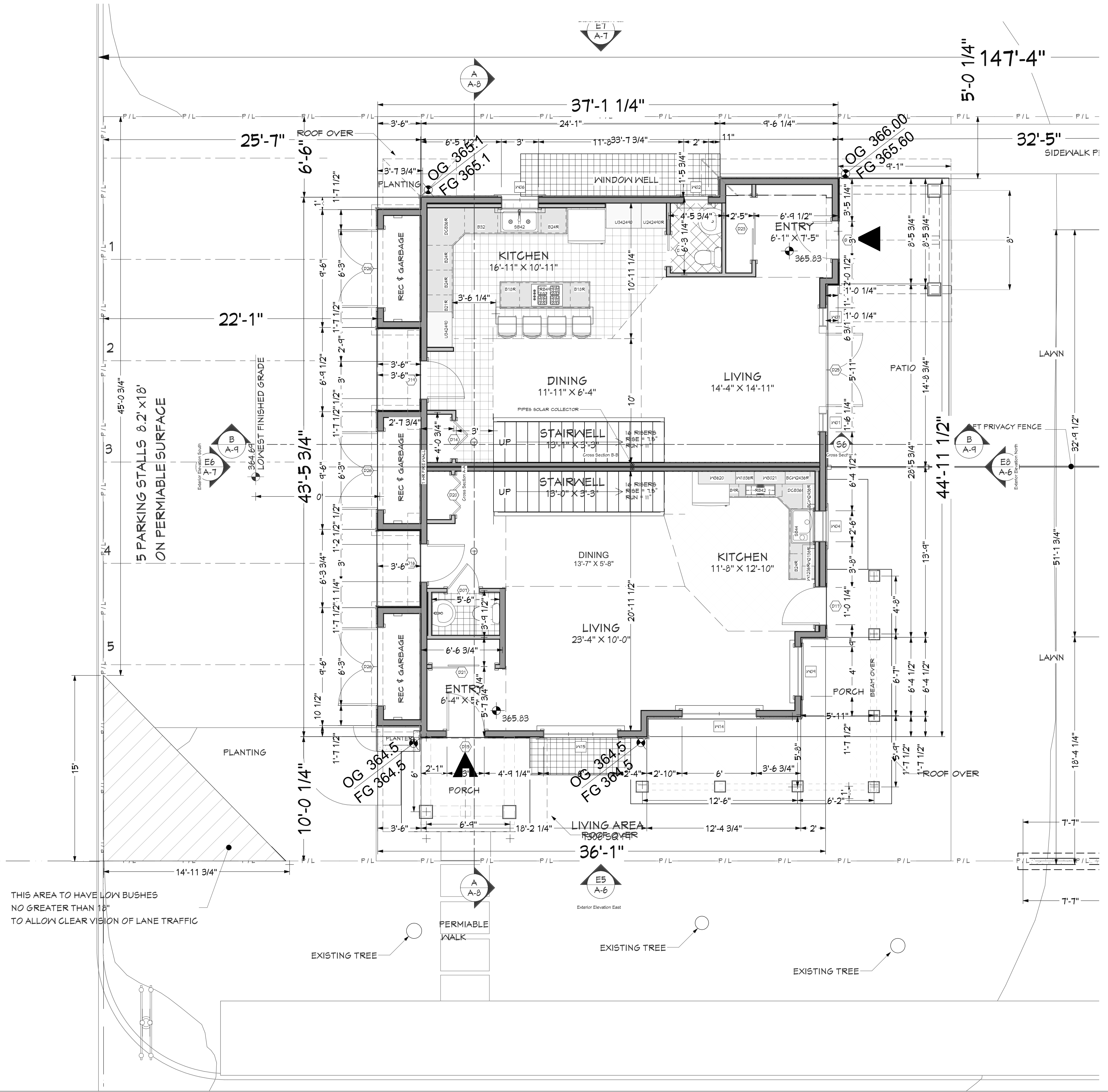
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LANE



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MAIN FLOOR PLAN

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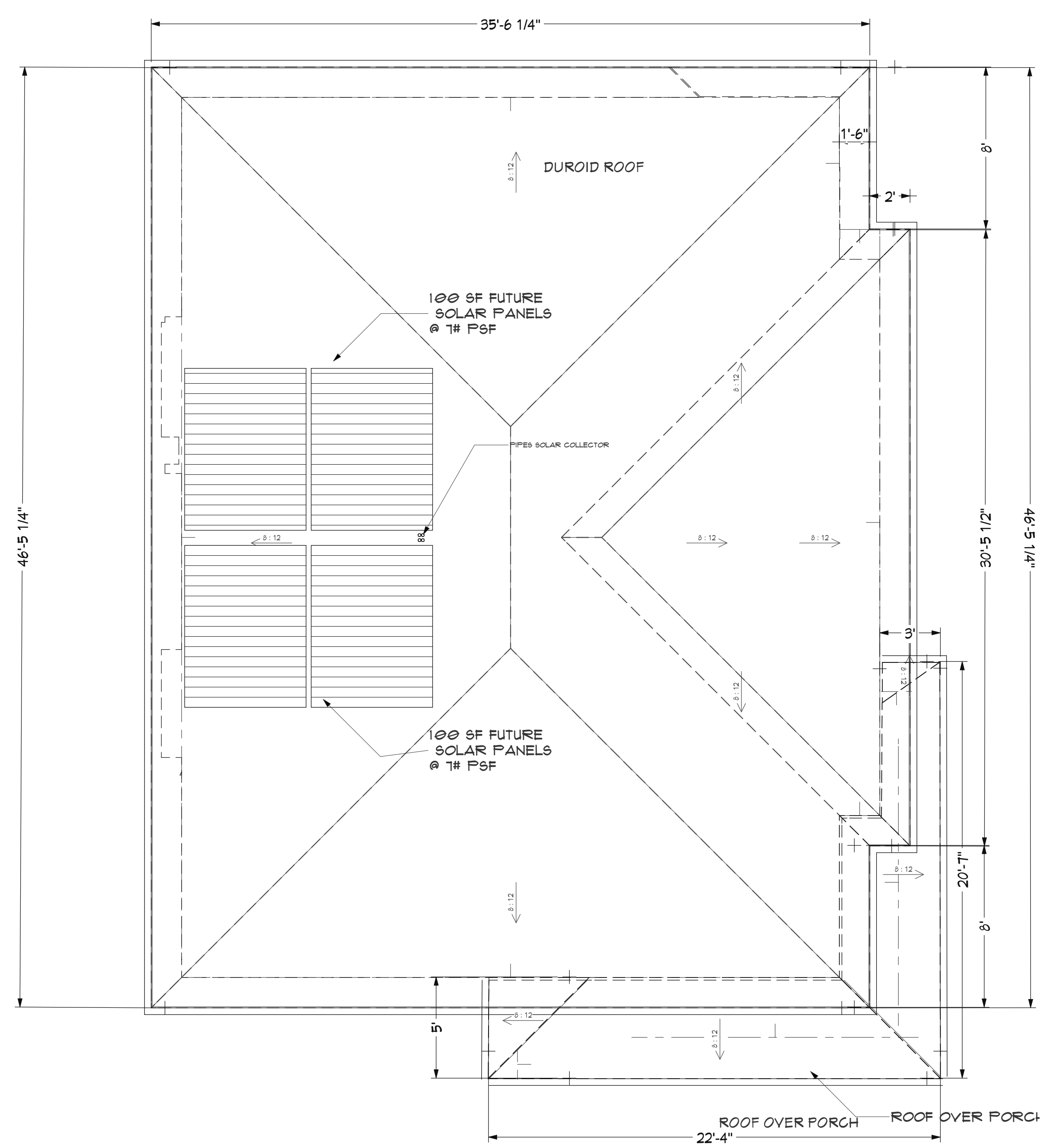
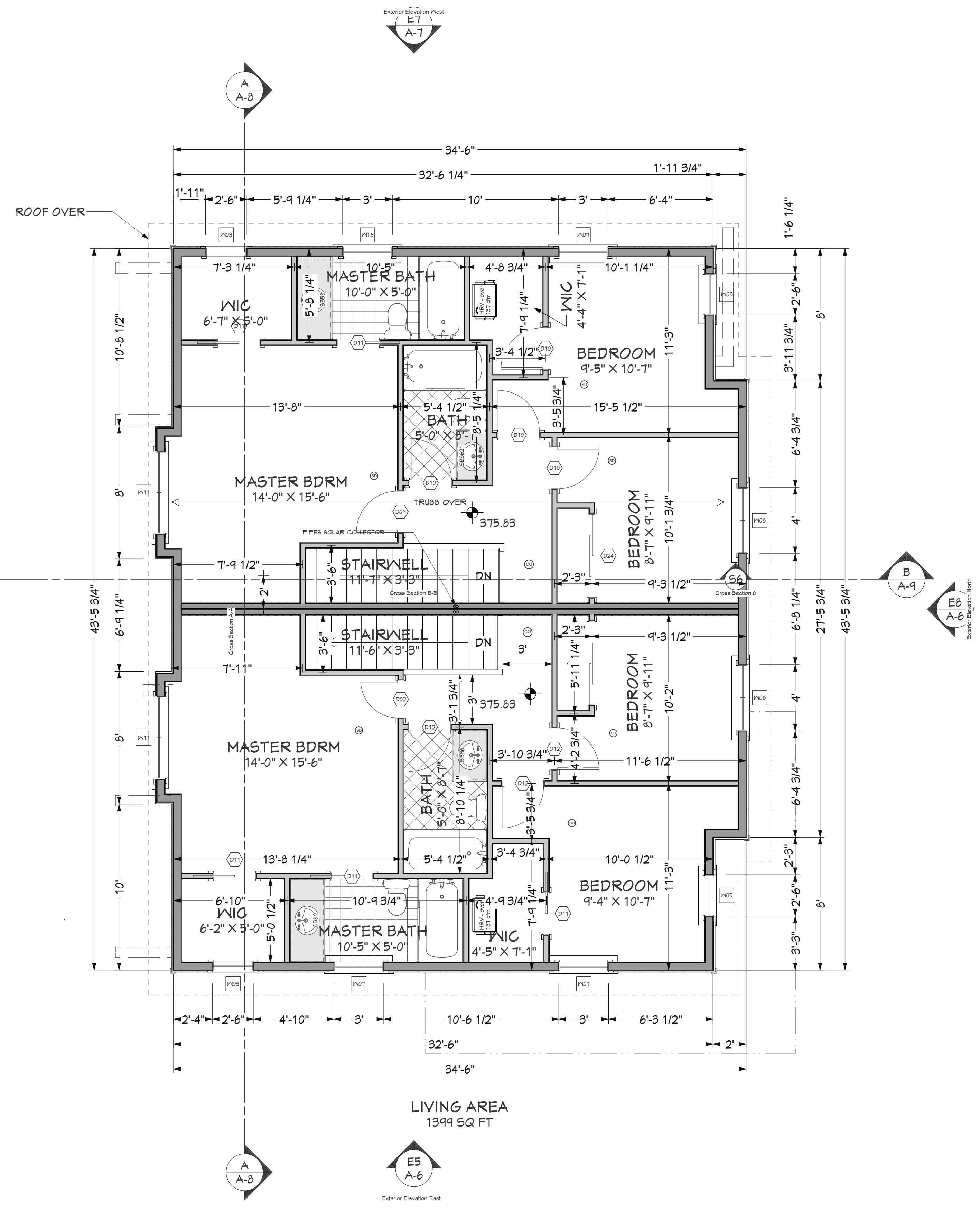
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2ND FLOOR & ROOF PLAN

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VANCOUVER
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SCALE: 1/4" = 1'-0"

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AP-5

SPACIAL SEPARATION:

DISTANCE BETWEEN OLD AND PROPOSED HOUSE 32.33'

WINDOWS OLD HOUSE:

9 SF
24 SF
15 SF
6 SF
18 SF

TOTAL

72 SF

AREA FACE OLD HOUSE = 323 SF

LIMITING DISTANCE @ 16' MAX % = 63%

A MAX AREA OF 203 SF



SPACIAL SEPARATION:

DISTANCE BETWEEN OLD AND PROPOSED HOUSE 32.33'

WINDOWS NEW HOUSE:

2.5 x 4.0 = 10
4.0 x 4.0 = 16
4.0 x 4.0 = 16
2.5 x 4.0 = 10

2.5 x 3.3 = 8
3.0 x 6.7 = 20
6.0 x 6.7 = 40
3.0 x 6.7 = 20

TOTAL 140 SF

AREA FACE NEW HOUSE = 742 SF

USE 16 FT FOR LIMITING DISTANCE : A MAX AREA OF 368 SF



Exterior Elevation East

Exterior Elevation North

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NORTH & EAST
ELEVATIONS

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VANCOUVER
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KRAIC
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HEIGHT CALCS CNV 365 E 14TH NV

HEIGHT A	369.7	A	C
HEIGHT B	364.9	H2	H3
HEIGHT C	370.6	H1	H4 & H5
HEIGHT D	364.9		H6
LOT A TO B	146.91	B	D
LOT C TO D	146.91		
A TO H2	87.21	C TO H3	87.21
A TO H1	124.91	C TO H4	0
AB TO H1H2	5	CD TO H3H4	10
		C TO H5	0
		C TO H6	124.91
		CD TO H5H6	10
BASE AT H2	366.85058199	BASE AT H1	365.61880743
TOP AT H2	386.85058199	TOP AT H1	385.61880743
BASE AT H3	370.56120074	BASE AT H4	370.6
TOP AT H3	395.56120074	TOP AT H4	395.6
		BASE AT H5	370.6
		TOP AT H5	395.6
		BASE AT H6	365.75358383
		TOP AT H6	390.75358383

SPACIAL SEPARATION:

DISTANCE PROPOSED HOUSE TO LOT LINE 5'-0"

WINDOWS

3.0X 4.0 = 12
3.0 X 4.0 = 12
2.5X 2.5 = 5

2.0X 3.0 = 6
3.0 X 4.0 = 12

TOTAL 47 SF

AREA FACE HOUSE = 590 SF

USE 5 FT FOR LIMITING DISTANCE & 8%
MAX AREA OF WINDOWS 47.2 SF



Exterior Elevation South



Exterior Elevation West

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SOUTH & WEST
ELEVATIONS

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VANCOUVER
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KARL WEIN ASSOCIATES
KARL WEIN
WEST VANCOUVER
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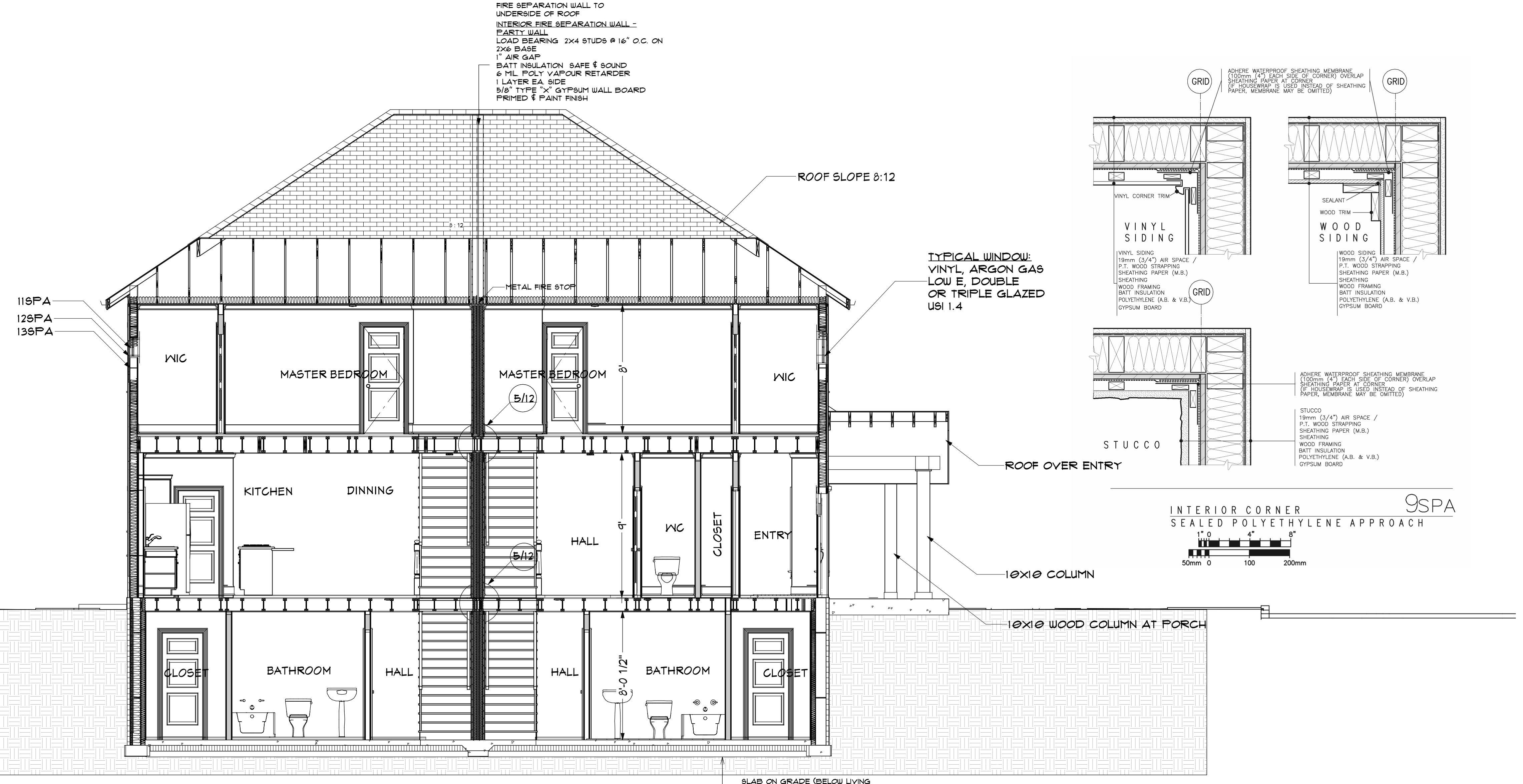
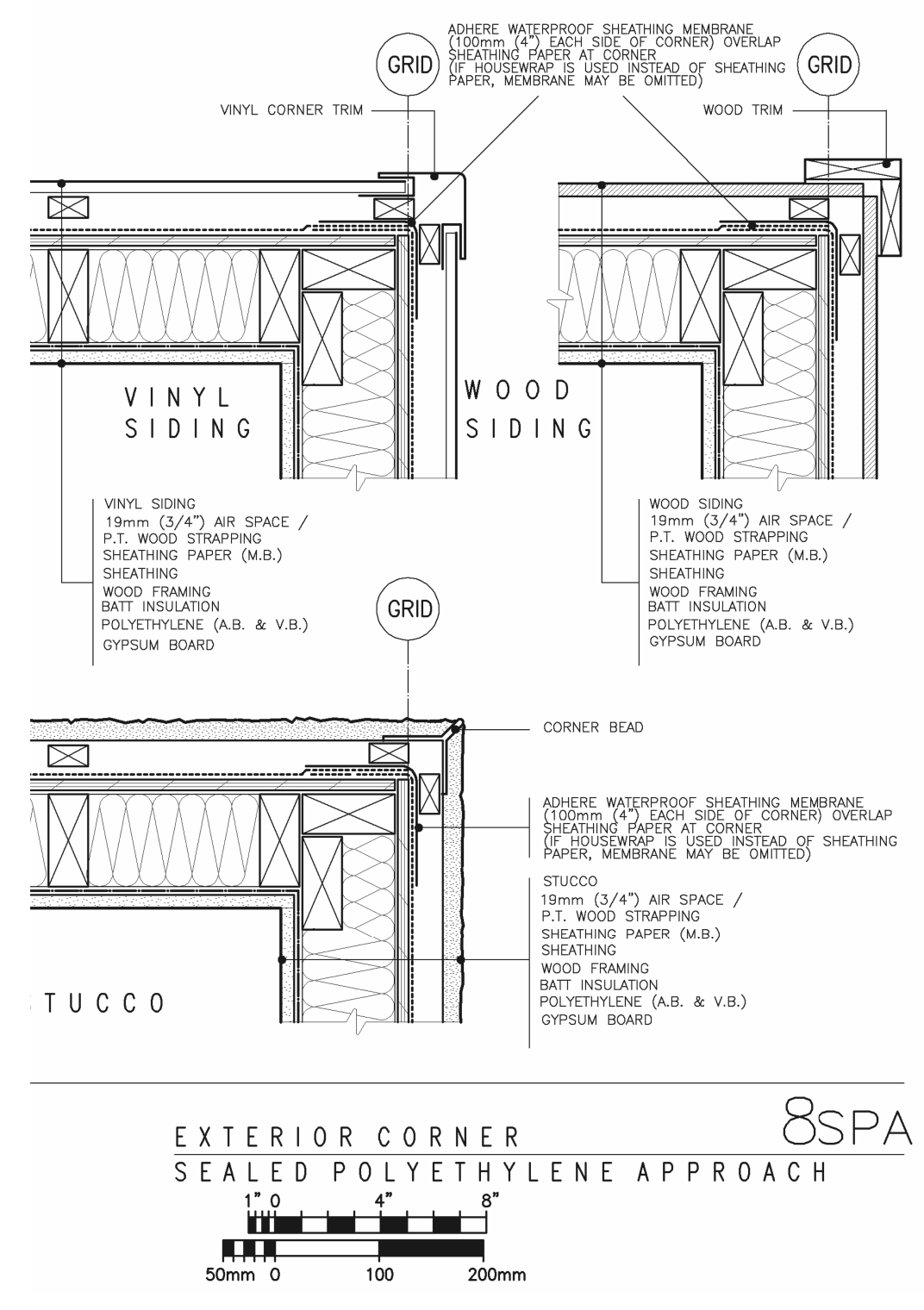
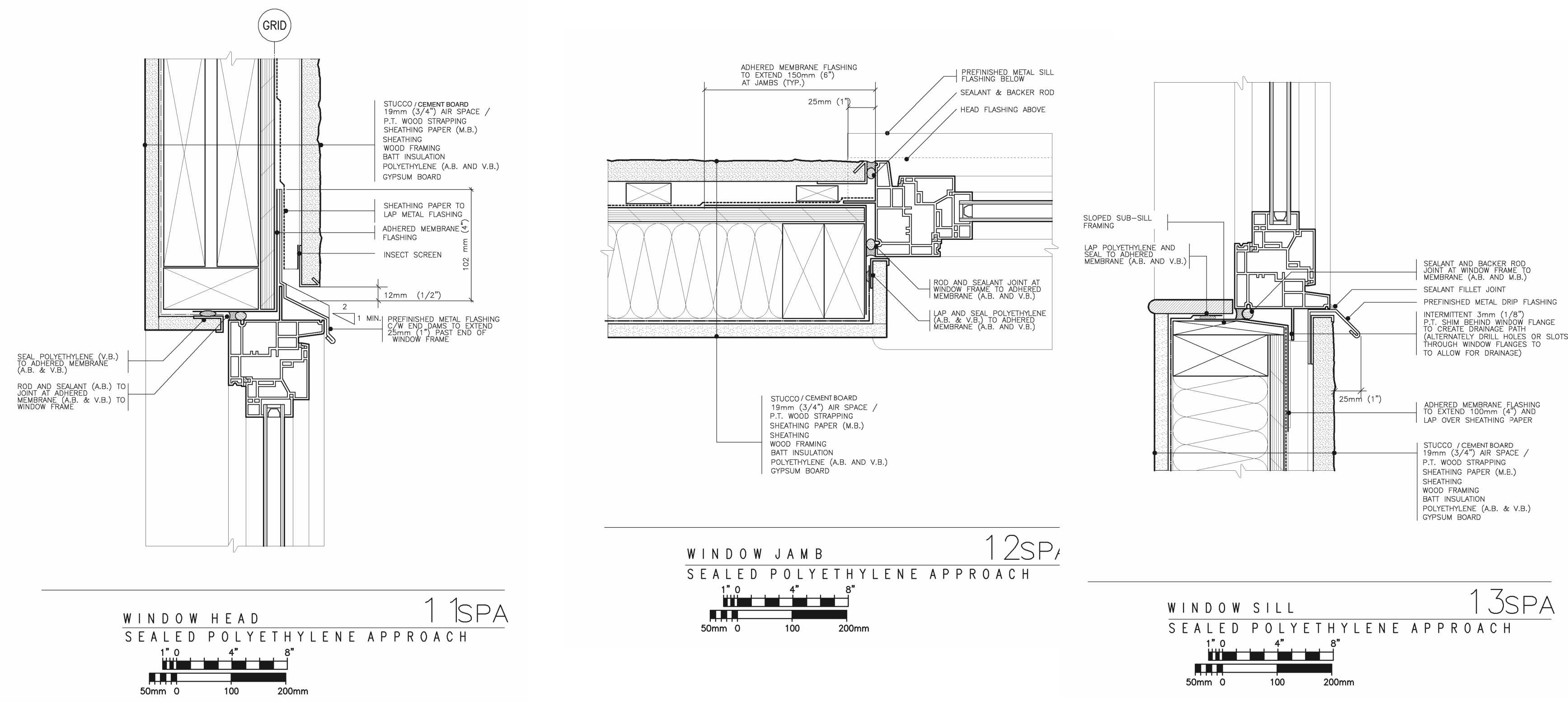
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SECTION A-A

KCC architecture & design ltd
 Karla Castellanos AIBC
 VANCOUVER
 604-909-1267

KARL WEIN ASSOCIATES
 KARL WEIN
 VANCOUVER
 778-280-3672

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