

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE STANDARDS OF DIVISION B PART 9 OF THE BCBC 2018, ALL LOCAL CODES, BYLAWS AND AMENDMENTS.
2. ALL DIMENSIONS TAKEN FROM OUTSIDE FACE OF CLADDING OR EXTERIOR FACE OF CONCRETE AND CENTER OF INTERIOR WALL UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. DIMENSIONS ALWAYS TAKE PRECEDENCE. REPORT DISCREPANCIES TO OWNER IMMEDIATELY.
3. THE GENERAL CONTRACTOR TO CONFIRM LOCATION AND NATURE OF ALL EXISTING ASPECTS OF THE BUILDING. VERIFY ALL DATUMS, DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES TO BE BROUGHT TO ATTENTION OF ARCHITECT.
4. CONTRACTOR TO OBTAIN & PAY FOR ALL NECESSARY PERMITS AND LICENSES.
5. ALL WORK TO BE PERFORMED TO CURRENT GOOD TRADE PRACTICE STANDARDS BY WORKMEN SKILLED IN THEIR TRADES.
6. ALL MATERIALS TO BE OF GOOD QUALITY, PROPERLY TRANSPORTED, STORED, AND PROTECTED.
7. SITE TO BE MAINTAINED IN SAFE AND ORDERLY CONDITION AT ALL TIMES TO WORKSAFE BC & AUTHORITY HAVING JURISDICTION STANDARDS.
8. ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS ARE TO BE REMOVED AND LAWFULLY DISPOSED OF.
9. PROTECTIVE FENCING TO BE PROVIDED FOR OPEN EXCAVATIONS, LANDSCAPING & TREES TO REMAIN.
10. SHOP DRAWING REVIEW IS MANDATORY FOR MANUFACTURED WOOD TRUSSES, MILLWORK AND WINDOWS.
11. A WALKTHROUGH AFTER ELECTRICAL BOX ROUGH IN AND PRIOR TO WIRING IS REQUIRED.
12. A WINDOW INSTALLATION MOCKUP AND TRIM MOCK UP IS REQUIRED PRIOR TO FINAL INSTALLATION.
13. INSTALL HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTORS AS PER BCBC 2012.
14. THE TRANSITION OF DIFFERENT FLOOR MATERIALS AT A DOORWAY SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS INDICATED OTHERWISE.
15. CONTRACTOR SHALL ENSURE THAT ALL FINISH MATERIALS WILL BE FLUSH WITH ADJACENT SURFACES AND JOINTS (EXCEPT WHERE INDICATED OTHERWISE).
16. PROVIDE BLOCKING, BACKING AND/OR REINFORCEMENT AS REQUIRED IN WALL & FLOOR ASSEMBLIES AT ALL LOCATIONS TO ACCOMMODATE THE INSTALLATION OF HANDRAILS, GUARDRAILS, TOILET ROOM ACCESSORIES, ARTWORK, WINDOW TREATMENTS, BRACING OF TALL FURNITURE ITEMS AND OTHER FIXTURES, FURNISHINGS AND EQUIPMENT REQUIRING WALL AND/OR FLOOR ANCHORAGE.

GENERAL REQUIREMENTS

STANDARDS AND MANUFACTURER'S LITERATURE:

1. It is intended that this project shall meet the requirements of the BCBC 2012, and CMHC Building Standards, latest editions, in all respects and Municipal Building Regulations.
2. In the absence of other standards being required by the Contract Documents, all work is to conform to, or exceed, the minimum standards of the Canadian Government Specifications Board, the Canadian Standards Association, the VEBL, the Workers' Compensation Board of British Columbia, and manufacturers of materials supplied for this project, whichever is applicable.

SAFETY REQUIREMENTS:

1. Observe and enforce all construction safety measures by the Canadian Construction Safety Code supplemented by the BCBC 2012, applicable WorksafeBC requirements, and local statutes and By-laws.

PROTECTION OF PUBLIC WORK AND PROPERTY:

1. Adequately protect all work unaffected by the work, completed or in progress. Any work damaged or defaced due to failure to provide such protection shall be removed and replaced or repaired as directed by the Consultant at no increase in the Contract Price.
2. Prevent overloading of any part of the building. Do not cut, drill or otherwise sleeve any load-bearing structural member without written approval of the Consultant.
3. The Contractor shall assume responsibility for any damage to existing paving, walks, adjacent building and property, services, etc. caused by construction operations. He shall repair and make good same, or bear the expense of such repairing.

ADJACENT PROPERTY:

1. The Contractor shall conduct construction operations with minimum interference to adjacent property roadways, sidewalks, and access to facilities in general. Keep such areas free from materials, debris, and equipment at all times. Confine operations to areas designated by the Consultant and/or Owner. Maintain fire vehicular access to existing building at all times.
2. Keep loud noises to a minimum only as necessary to conduct work. Loud music and swearing audible on adjacent properties is not acceptable.

SHOP DRAWINGS AND SUBMITTALS:

1. Submit to the Consultant for review, shop drawings for windows and doors and millwork or other items as specified herein or as requested by the Consultant.
2. Throughout the duration of the Contract, whenever requested to do so by the Consultant, submit product samples and colour charts. This is of particular importance where materials are described in generic terms on the drawings.
3. Until submission is reviewed, work involving relevant product may not proceed.
4. Review shop drawings, product data and samples prior to submission.
5. Submittals to include Contractor's stamp, initialed and signed, certifying review of submission, verifications of field measurements and compliance with the Contract Documents.
6. The Contractor's responsibility for errors and omissions is not relieved by the Consultant's review of submittals.

LOCATION OF EQUIPMENT AND FIXTURES:

1. Location of equipment, fixtures and outlets indicated or specified are to be considered as approximate. Location of service runs, ducts, conduits, piping, suspensions systems, and other concealed items shown on drawings are diagrammatic.
2. Locate equipment, fixtures and distribution systems to provide minimum interference and maximum usable space and in accordance with manufacturer's recommendations for safety, access, and maintenance.

CONCEALMENT:

1. Conceal pipes, ducts, and wiring in floor, wall and ceiling construction of finished areas except where otherwise indicated.

PROJECT RECORD DOCUMENTS:

1. As-Built Drawings: The Contractor shall keep one set of white prints of all contract drawings, Architectural, Interior Design, Structural, Mechanical, Electrical, Plumbing and Drainage, included addenda, revisions, clarifications, change orders and approved shop drawings in the site office and identify them as "As-Built drawings".

PROJECT CLOSE-OUT:

1. Disposal Requirements: Conduct cleaning and disposal operations to comply with codes, ordinances, regulations, and anti-pollution laws. Dispose of rubbish, debris and waste materials at periodic intervals away from the site and in a legal manner.
2. Final Cleaning: Employ only skilled workers for final cleaning. Clean and polish glass, mirrors, hardware, wall tile, stainless steel, chrome, porcelain enamel, baked enamel, plastic laminate, mechanical and electrical fixtures. Remove stains, spots, marks and dirt from decorative work. Vacuum clean and dust all building interiors, carpets, behind grilles, louvers and screens. Clean, wax and seal or prepare all floor finished as recommended by the manufacturer.

GENERAL NOTES - ARCHITECTURAL:

1. All work shall conform to the standards of Section 9 of the BCBC 2012, all local codes, bylaws and amendments.
2. Do not scale drawings. Dimensions always take precedence.
3. The general contractor shall verify all datum's, dimensions and levels prior to commencement of work. Any errors, omissions or discrepancies to be discussed with the Architect.
4. These drawings are the exclusive property of the Architect, and cannot be reproduced without the expressed written consent of the Architect.
5. All work to be performed to current good trade practice standards by workmen skilled in their trades.
6. All materials to be of good quality, properly transported, stored, and protected.
7. All exterior dimensions taken from outside face of sheathing or exterior face of concrete and interior framing centre lines unless noted otherwise.

LEGAL DESCRIPTION: LOT 8 BLOCK 76 VAP 1450 DISTRICT LOT 550
 LAND DISTRICT 36 EXC SOUTH 10'
 PARCEL ID: 014-626-667
 AUTHORITY HAVING JURISDICTION: CITY OF NORTH VANCOUVER
 GOVERNING CODES: BCBC 2018 + AMENDMENTS / BC ENERGY STEP CODE
 LOT DIMENSIONS: 50 x 146.90 = 7349.5 SQ FT

DRAWING LIST:

- A1.1 SITE PLAN GENERAL NOTES
- A1.31 AREA OVERLAYS
- A2.00 FOUNDATION PLAN
- A2.10 BASEMENT PLAN
- A2.20 MAIN FLOOR PLAN
- A2.30 SECOND FLOOR PLAN
- A2.40 ROOF PLAN
- A3.2 NORTH ELEVATION SOUTH ELEVATION INCL. SPATIAL SEPARATION CALCS
- A3.4 EAST ELEVATION WEST ELEVATION INCL. SPATIAL SEPARATION CALCS.
- A4.0 SECTION A SECTION B SECTION C
- A5.0 DETAILS
- A5.1 DETAILS

VENTILATION NOTES:

1. ALL WORK TO COMPLY WITH SECTION 9.32 OF THE BCBC 2018 (INCLUDING AMENDMENTS)
2. ALL REGISTER AND APPLIANCE LOCATIONS ARE DIAGRAMMATIC WITHIN ROOMS. FINAL LOCATIONS TO BE COORDINATED WITH ON SITE STRUCTURE AND CEILING AND LIGHTING DESIGN
3. ALL FUEL BURNING APPLIANCES SHALL BE HI EFFICIENCY SEALED UNITS
4. BUILDING IS NOT VENTILATED BY NATURAL MEANS THEREFORE TABLE 9.32.2.2 DOES NOT APPLY
5. AN HRV IS BEING USED AS THE PRINCIPAL VENTILATION SYSTEM
6. ALL DUCTING TO EACH BEDROOM AND TO EACH FLOOR WITHOUT A BEDROOM SHALL BE DEDICATED DUCTS
7. SUPPLY AND EXHAUSTS ARE SHOWN AS MINIMUMS. THE CONTRACTOR MAY OPT FOR MORE, BUT NOT LESS - ENSURE THE HRV IS APPROPRIATE FOR ANY INCREASE
8. HRV/EXHAUST SYSTEM TO OPERATE CONTINUOUSLY
9. HRV/EXHAUST SYSTEM TO BE OPERATED BY A DEDICATED SWITCH WITH ON/OFF ONLY
10. IF AN HRV SYSTEM IS DESIGNED TO RUN AT MULTIPLE AIR FLOW RATES - THIS CONTROL SHALL BE A SEPARATE SWITCH - ALL RATES MUST STILL MEET 56 L/s (119 CFM)
11. HRV EXHAUST LOCATIONS TO BE NEAR TOP OF WALLS
12. BATHROOM FANS TO BE MIN 23 L/s (49 CFM) IF INTERMITTENT OR 9 L/s IF CONTINUOUS
13. KITCHEN FAN TO BE MIN. 47 L/s (100 CFM)
14. ALL DUCTING TO BE AS PER MANUFACTURER'S SPECIFICATION, BUT SHALL MEET TABLE 9.32.3.8 (3)

GENERAL CONSTRUCTION / SECTION NOTES

FOOTING / FOUNDATION NOTES:

1. ALL FOOTINGS TO BE MIN. 18" BELOW GRADE
2. REFER TO STRUCTURAL DRAWINGS FOR ALL FOOTING SIZES AND REINFORCEMENT
3. PERIMETER DRAINAGE TO BE 4" PERFORATED PVC PIPE - HOLES DOWN - PACKED IN MIN. 6" DRAIN ROCK AND WRAPPED IN LANDSCAPE FABRIC
4. NOT USED
5. WHERE STRUCTURAL SLAB MEETS WALL USE MOISTURE BARRIER AS A BOND BREAK
6. ALL RAIN WATER LEADERS TO BE VIA 4" SOLID WALL PVC LED TO SUMP AS REQ'D
7. NOT USED

TOP OF FOUNDATION WALL NOTES:

1. ALL GRADE AT FOUNDATION WALL TO BE FINISHED TO FORM NOMINAL SLOPE FROM FOUNDATION WALL
2. WHERE ADJACENT GRADE IS HARD SURFACE, MIN. DISTANCE TO FINISHES IS 2"
3. WHERE ADJACENT GRADE IS EARTH OR OTHER, MIN. DISTANCE TO FINISHES IS 8"
4. SILL PLATE TO BE PRESSURE TREATED (FASTENERS TO BE COMPATIBLE)
5. SILL IS SET ON SILL GASKET
6. ALL WOOD IN CONTACT W/ CONC. TO BE PRESSURE TREATED OR BE SEPERATED FROM CONC. BY BUILDING PAPER OR AIR SPACE.
7. ANCHOR BOLTS AND HOLD DOWN REGIME AS PER STRUCTURAL DRAWINGS
8. ALL HOT DIPPED GALVANIZED FASTENERS TO BE USED FOR EXTERIOR EXPOSED APPLICATIONS

WALL FLASHING AND INTERSECTION NOTES:

1. ALL WALL ROOF INTERSECTIONS SHALL BE PROVIDED WITH FLASHING
2. WHERE SKIRT ROOFS ARE PRESENT - INSTALL MIN. 1 LAYER 30 MIN. BUILDING PAPER PRIOR TO INSTALL OF JACK/SKIRT STRUCTURE
3. FLASHING REFERRED TO ABOVE SHALL BE PLACED ON FLASHING PAPER
4. FLASHING REFERRED TO ABOVE SHALL RETURN UP WALL MIN. 2" AND HAVE 2 LAYER 30 MIN. FIELD BUILDING PAPER LAPPED OVER
5. PRESSURE TREATED BATTENS OR DRAINAGE MAT SHALL BE HELD BACK FROM THE TOP OF FLASHING
6. IF PRESSURE TREATED VERTICAL BATTENS ARE USED - INSTALL INSECT SCREEN STAPLED FIRST AND WRAPPED TAUT OVER BATTENS

GENERAL RAINSCREEN NOTES:

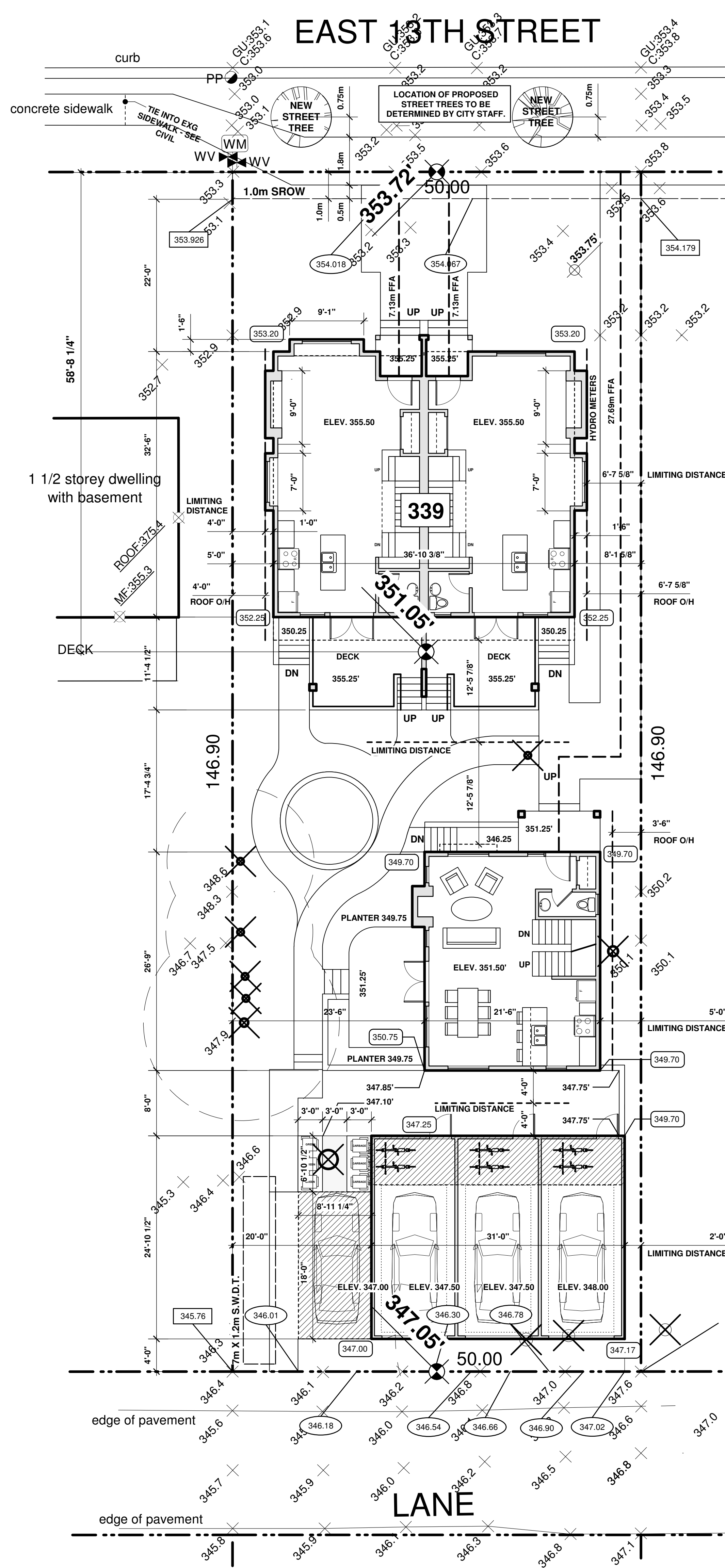
1. ALL BOTTOM OF WALL CONDITIONS SHALL BE VENTED.
2. RAINSCREEN SHALL BE PROVIDED BY 3/4" PRESSURE TREATED VERTICAL BATTENS MAX 12" OC OR APPROVED DRAINAGE MAT.
3. REGARDLESS OF PROVISIONS FOR THE DRAINAGE CAVITY, CORNERS AND ABUTMENTS TO WINDOWS AND DOORS SHALL BE DONE W/ PRESSURE TREATED VERTICAL BATTENS TO PRODUCE CLEAN CORNERS ETC.
4. ALL WALL PENETRATIONS FOR LIGHTS, VENTS AND OTHERS SHALL BE AUGMENTED BY A WOOD BLOCK SET ON PEEL AND STICK AND FLASHED AS PER WINDOW PENETRATIONS.


ROOF AND SOFFIT NOTES:

1. ALL ROOFING TO BE INSTALLED TO RCABC GUARANTY STANDARDS
2. NOT USED.
3. FOR VENTILATION REFER TO ROOF PLAN / ASSUME CONTINUOUS 1 1/2" STRIP VENT IN ALL SOFFIT LOCATION
4. NOT USED.
5. NOT USED.
7. INSTALL FLASHING AT EAVE DRIPS AS PER RCABC
8. EAVES TROUGH TO BE EXTRUDED ALUMINUM SECTION - FINAL COLOURS AND PROFILE TO BE DETERMINED
9. SET EAVES TROUGH ON 2x GUTTER FASICS
10. SOFFIT MATERIAL TO BE 1x4 V-JOINT CEDAR UNLESS NOTED OTHERWISE
11. NOT USED.

WINDOW NOTES

1. DIMENSIONS INDICATED REPRESENT ROUGH OPENINGS (WIDTHxHEIGHT). CONFIRM FINAL ROUGH OPENINGS & INSTALLATION REQUIREMENTS WITH MANUFACTURER.
2. NOT USED.
3. GLAZING IN DOORS, SIDELIGHTS & WINDOWS WITHIN 36" OF EXTERIOR DOOR LOCKSETS, BATHUBS OR SHOWERS TO BE SAFETY GLASS.
4. BEDROOM WINDOW OPENINGS TO MEET BCBC 2012 REQUIREMENTS FOR EGRESS.
5. HANDLE AND INSTALL WINDOWS AS PER MANUFACTURERS WRITTEN INSTRUCTIONS.
6. WINDOWS TO BE THERMALLY-BROKEN ALUMINUM, U.N.O.





450 Southwest Marine Drive Suite 1800
 Vancouver BC V5X 0C3 P: 604-266-4677

www.HEARTHworks.ca

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

It is the Builder's responsibility to lay out & carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those assumed on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.

Written dimensions shall have precedence over scaled dimensions.

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Revisions

No.	Date	Details	By
1	NOV 15 2017	ISSUED FOR DISC.	VJM
4	DEC 19 2017	ISSUED FOR RZ	VJM
6	APR 04 2018	re-ISSUED FOR RZ	VJM
7	JUN 13 2018	ISSUED FOR ADP	VJM
10	OCT 3 2018	re-ISSUED FOR ADP	VJM
16	MAY 23 2019	re-ISSUED FOR RZ	VJM
17	NOV 13 2019	ISSUED FOR COORD	VJM
18	DEC 6 2019	ISSUED FOR BP	VJM
19	DEC 12 2019	RE-ISSUED FOR BP	VJM
20	FEB 27 2020	ISSUED FOR BP rev1	VJM

Project

Cobblestone Fina Development Group

339 East 13th Street
 City of North Vancouver BC

Drawing Title

SITE PLAN

Date	Project No.
OCT 19 2017	1803

Scale	Drawing No.
SCALE 1/8"=1'-0"	A1.1

Drawn By: HAI
 Approved By: VJM

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19	DEC 12 2019	RE-ISSUED FOR BP	VJM
20	FEB 27 2020	ISSUED FOR BP rev1	VJM

Project

**Cobblestone Fina
Development Group**

339 East 13th Street
City of North Vancouver BC

Drawing Title

**CRAWLSPACE
PLAN**

Date

OCT 19 2017

Project No.

1803

Scale

SCALE 1/4"=1'-0"

Drawing No.

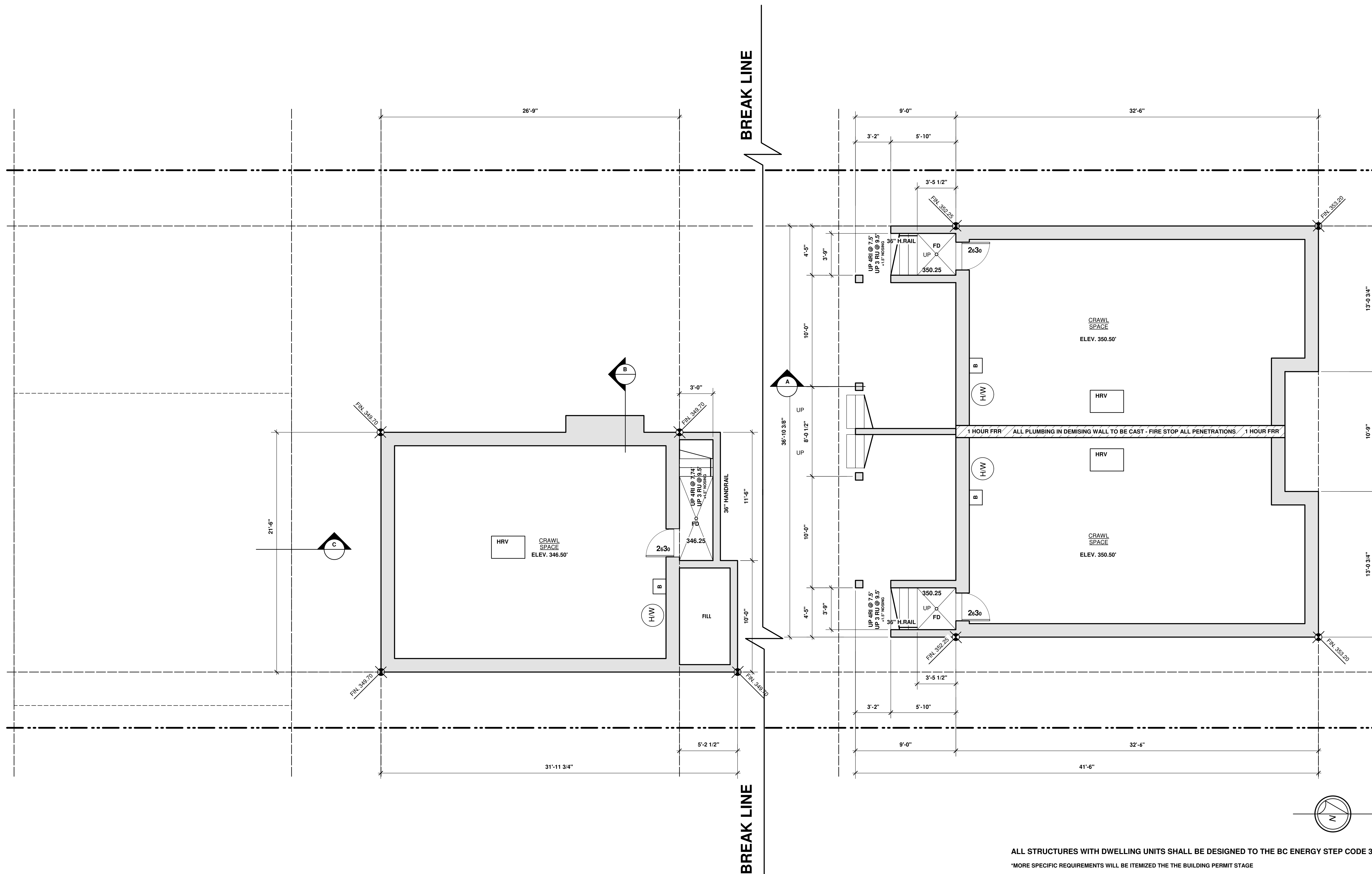
A2.10

Drawn By

VJM

Approved By

VJM



ALL STRUCTURES WITH DWELLING UNITS SHALL BE DESIGNED TO THE BC ENERGY STEP CODE 3

*MORE SPECIFIC REQUIREMENTS WILL BE ITEMIZED THE THE BUILDING PERMIT STAGE

1. BLOWER DOOR TESTS ARE REQUIRED
2. ACH @ 50 Pa - OR = 2.5
3. PERFORMANCE REQUIREMENT OF BUILDING ENVELOPE AND SYTEMS - 20% BETTER THAN ERS REF. HOUSE
4. PERFORMNCE REQUIREMENT OF BUILDING ENVELOPE - LESS THAN OR = 25 TEDI

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20	FEB 27 2020	ISSUED FOR BP rev1	VJM

Project

**Cobblestone Fina
Development Group**

339 East 13th Street
City of North Vancouver BC

Drawing Title

**MAIN FLOOR
PLAN**

Date

OCT 19 2017

Project No.

1803

Scale

SCALE 1/4"=1'-0"

Drawing No.

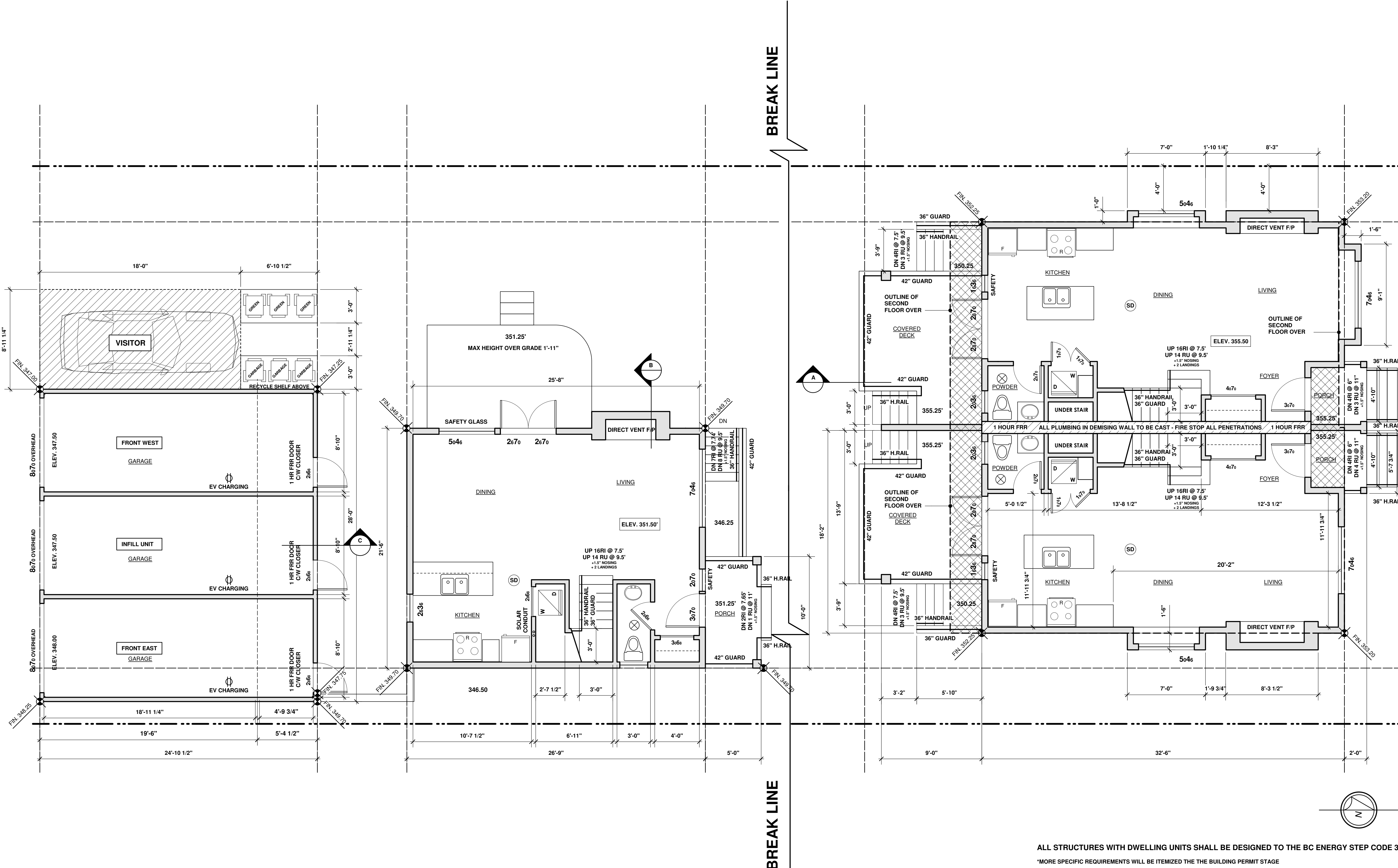
A2.20

Drawn By

HAI

Approved By

VJM



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20	FEB 27 2020	ISSUED FOR BP rev1	VJM

Project

**Cobblestone Fina
Development Group**

339 East 13th Street
City of North Vancouver BC

Drawing Title

**SECOND
FLOOR PLAN**

Date

OCT 19 2017

Project No.

1803

Scale

SCALE 1/4"=1'-0"

Drawing No.

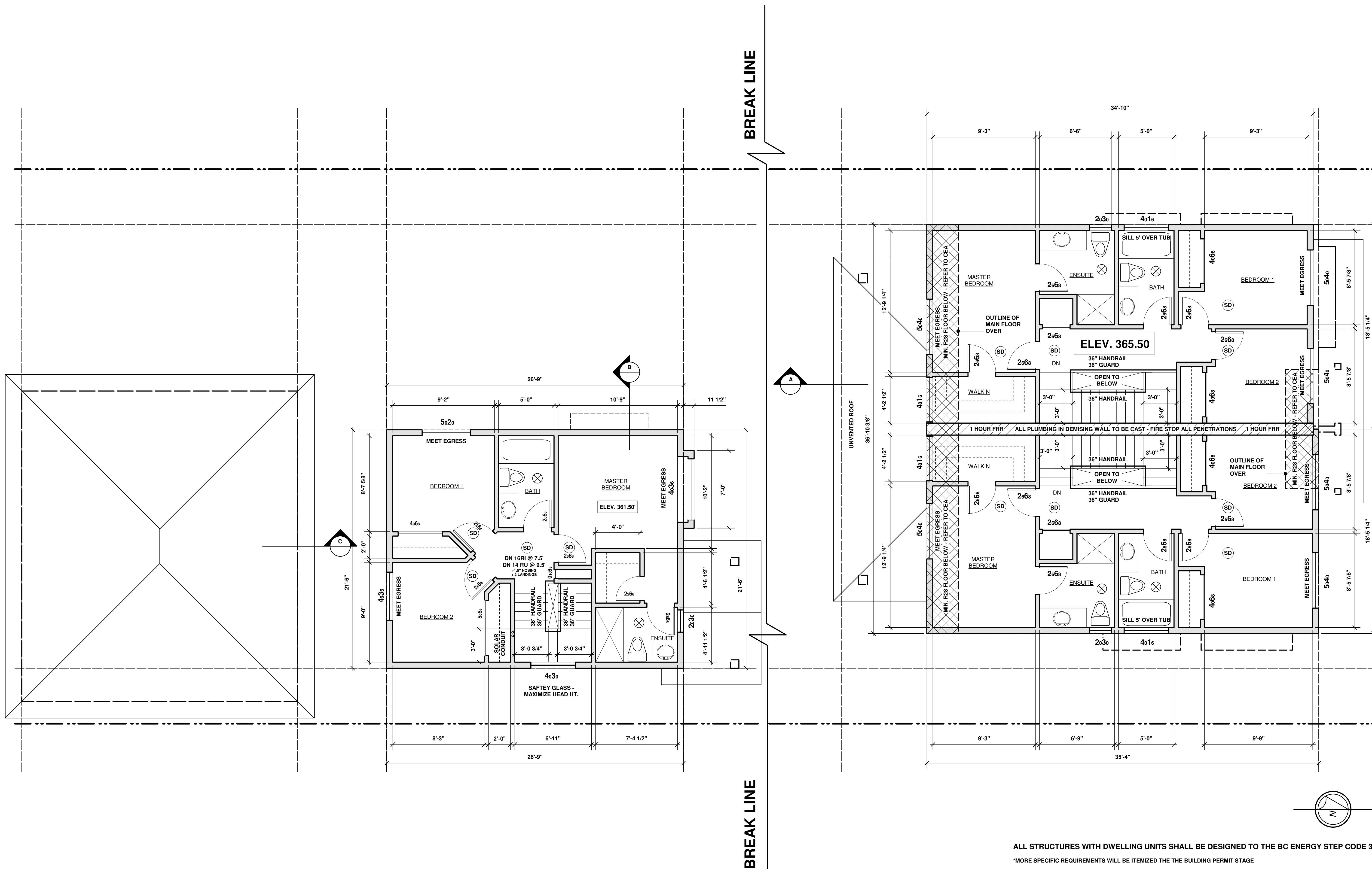
A2.30

Drawn By

HAI

Approved By

VJM



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